ENERGY CODE REQUIREMENTS

Caulking and Sealants

- Seal all exterior joints, seams or penetrations in the building envelope with durable caulking materials, closed with gasketing systems, taped or covered with moisture vapor-permeable house-wrap. Sealing materials spanning joints between dissimilar construction materials shall allow for differential expansion and contraction of the construction materials (including around tubs, showers, at the attic and crawl space panels, at recessed lights and around all plumbing and electrical
- penetrations). All house wrap to be installed and seams taped per manufacturer's directions.
- All exterior openings (doors, windows, etc.) shall have ice and water shield applied per manufacturer's
- . Seal all holes between floors and ceilings (plumbing, radiator piping, HVAC, electrical).

HVAC (Verify w/G.C.)

- · All HVAC system piping shall be thermally insulated, except
 - Factory-installed piping with HVAC equipment
 - Piping with operating temperature range between 55 and 105 degrees Fahrenheit
 - Piping not heated or cooled through the use of fossil fuels or electricity
- Piping within the building envelope that serves a single zone
- All supply and return-air ducts and plenums shall be thermally insulated to R-7, except:
- Factory-installed plenums, casings or ductwork furnished as a part of the HVAC equipment
- Ducts with the conditioned space that they serve
- Thermal resistance (R) mark for duct insulation shall be applied at intervals no greater than 10'-0" to
 - flexible duct products.
- All low pressure supply and return ducts to be sealed using mastic with fibrous backing tape NO DUCT TAPE
- UL 181A-Rigid fibrous to metal
- UL 181B-Flex or connectors to metal

LIGHTING

- Recessed lighting fixtures shall meet one of the following requirements:
- Type IC rated, with no penetrations between the inside of the recessed fixture and ceiling
- and sealed or gasketed to prevent air leakage into the unconditioned space. Type IC or not-IC rated, installed inside a sealed box constructed from a minimum of 0.5*
- gypsum wallboard or constructed from a preformed polymeric vapor barrier, or other air-tight
- manufactured for this purpose, while maintaining required clearances of not less than 0.5"
- material an not less than 3" from insulation material.
- Type IC rated, in accordance with ASTM E 283, permitting no more than 2.0 cubic feet per
- of air movement from the conditioned space to the ceiling cavity. The lighting fixture shall be tested at
- 1.57 psi pressure differece and shall be labeled.

PLUMBING

- . Shower heads shall have a maximum flow rate of 2.5 gallons per minute at a pressure of 80 pounds per
- . Water heater with vertical pipe risers shall have a heat trap on both the inlet and outlet of the water
 - unless the water heater has an integral heat trap or is part of a circulating system.

GENERAL NOTES

- · The Architect assumes that others will obtain all necessary local building permits before work begins.
- All applicable local codes govern over all construction / permit drawings.
- · Dimensions are to "rough" framing unless noted as (finished) and govern over scale.
- Any note marked with a
 is a frequent code concern.

GENERAL ARCHITECTURAL NOTES

- · All outside doors to be a minimum of 36" wide and operable from the inside without a key or special knowledge.
- All stairs to be a minimum of 36" wide with a minimum rail height of 32". Maximum riser height is 8"; minimum tread depth is 9". Minimum 7'-0" clear headroom. (Exception: 6'-8" is allowed for 2 or less dwelling units.)
- Safety glazing required at: all glazed doors, and any glazed panel more than 18" in width immediately adjacent to any door wherein the sill of such glazed panel is less than 24" above the floor, and all skylights.
- Provide approved smoke detectors on every level within 15'-0" of every bedroom and as shown on the electrical plan.
- Provide approved Carbon Monoxide detectors within 40'-0" of every room used for sleeping and in any room containing a central heating unit and as shown on the electrical plan. (Minimum of one per unit in multi-unit buildings.)
- New fireplaces to have a 6" minimum clearance from combustible material and a 12" clear non-combustible hearth. Provide damper and approved spark arrestor.
- All interior finishes to have a Class 1 flame spread.
- All new or existing interior walls, floors or ceilings opened for new work to be sound insulated with Owners Corning "QuiteZone" acoustic batt insulation or approved equal. Insulation shall fill cavity per manufacture's specification. Floors and ceilings shall have double or triple layers of insulation as required to fill joist cavities.

GENERAL DEMOLITION NOTES

- Remove all existing walls and surfaces, windows, etc, as shown on plan with minimum damage to adjacent construction.
- All doors, windows, and trim removed because of demolition to be numbered and

GENERAL CONTRACTOR NOTES

- All contracts must state that the General Contractor carries GENERAL LIABILITY INSURANCE and WORKERS COMPENSATION INSURANCE as required by the State of
- All work shall comply with all applicable local building codes, and The National Board of Fire Underwriters Code.
- The general contractor shall be responsible for submitting all subcontractor names, addresses, license numbers and required letters as necessary to obtain building permit before work
- · The general contractor is responsible for scheduling any necessary inspections and tests required by local building officials and government.
- · The general contractor is to review and follow all general notes and verify that subcontractors do the same. All notes and code regulations must be followed as stated when applicable.
- All materials furnished under this contract shall be new, unless otherwise specified.
- All work shall be done in a first class manner and shall be guaranteed against defective material and workmanship for a period of at least one (1) year after completion and acceptance. The Contractor shall repair or replace all work that may develop defects in material or workmanship within said period of time at their own expense.
- The General Contractor and each subcontractor shall be responsible for checking existing conditions at the job site before submitting proposal. Submission of proposal shall be taken as evidence that such inspections have been made. Claims for extra compensation for work that could have been foreseen by such inspection, whether shown on Contract documents or not shall not be accepted or paid.
- Any additional work that may be required due to conditions that could not have been foreseen or by client requests must first be submitted as a change order with additional cost stated. Work may be done only after the client has approved the change order.
- · All subcontractors are to read and understand all of the following notes that apply to their
- General Contractor to coordinate schedules of subcontractor as well as work with independent subcontractors provided by the owner or architect when applicable, (i.e. cabinet makers,
- Unless noted otherwise, General Contractor to order and coordinate shipping of all products (windows, appliances, plumbing fixtures, light fixtures, etc.). These items to be as specified by architect. No substitutions will be allowed unless approved by architect.
- · General Contractor shall be responsible to receive all deliveries to job site, including O.P.C.L. items, and coordinate their transport into the house and storage before installation.
- Any changes in construction must be first reviewed and approved by the architect before they are executed.
- General Contractor to provide owner and architect with a construction schedule from contract signing to completion of work.
- Before submitting proposal, verify with the Building Owner and Architect regarding the re-use of materials, such as standard doors, frames, trim, base, window shades, blinds, plumbing fixtures, hardware, marble, light fixtures, etc.
- While construction is in progress, General Contractor is to protect occupied areas from dust and debris. Existing floor covering or new floor covering which may have to be installed before all general work is completed shall be protected from dust, paint, and debris.
- General Contractor shall be responsible for adequately bracing and protecting all work during construction, against damage, breakage, collapse, distortion and misalignment, according to applicable codes, standards and good practice.
- General contractor to verify that all subcontractors dispose of all debris resulting from demolition or execution of their work. Usable items of value removed, but not to be re-used shall be the property of the Building Owner and returned to the Owner's stock unless and until the Owner waives claim. In which case, items shall become property of Contractor and disposal of such items their responsibility. General Contractor to enforce clean and tidy site conditions. At all times protection of all landscaping and adjacent properties is a priority
- · The Architect shall not have control or charge of and shall not be responsible for the construction means, methods, techniques, sequences or procedures; or for safety precautions and programs in connection with the work, and for acts and omissions of the General Contractor, Sub-Contractors or any other persons performing any of the work.
- It is the express intent of the parties hereto that the Architect is absolved from any liability whatsoever occasioned by the General Contractor's, Sub-Contractor's, or any other persons performing any of the work, failure to carry out the work in accordance with the contract

Proposed New Construction of: The Kickapoo Center

Vinyl Composition

Tongue and Groove

Polyvinyl Chloride

Oregon Illinois

ALT.	Alternate	F.D.	Floor Drain	PNT.	Paint
A/C	Air Conditioning	FLR.	Floor	PR.	Pair
A.F.F.	Above Finished	FT	Foot	PT.	Point
	Floor	FTG.	Footing	P.LAM	Plastic Laminat
A.F.R.	Above Finished	03.303X	1835/4237500	PL.	Plate
	Roof	GA	Gauge	PVC	Polyvinyl Chlo
Alum.	Aluminum	GALV.	Galvanized	PW	Plywood
A.S.F.	Above Sub Floor	G.C.	General Contractor		
ARCH.	Architect	GYP.	Gypsum	Q.T.	Quarry Tile
A.T.	Acoustical Tile	GFI	Ground Fault	0000	26.6g * 10.0g * 10.0co
			Interrupted	RAD.	Radius
BD.	Board		200000000000000000000000000000000000000	R.	Riser
BLDG.	Building	HB	Hose Bib	R.H.	Right Hand
BLKG.	Blocking	HDWD	Hardwood	REQ'D	Required
B.O.	Bottom Of	H.M.	Hollow Metal	REF.	Refrigerator
BRG.	Bearing	HR.	Hour	R.O.	Rough Openin
BIT.	Bituminous	HT.	Height	800000	
BM.	Beam	H.W.	Hot Water	S.B.	Sand Blast
BSMT.	Basement	HVAC	Heat, Vent &	S.C.	Solid Core
		370-04-00-3-1	Air Conditioning	SCH	Schedule
CAB.	Cabinet	3000-190	8 I	S.M.	Sheet Metal
C.I.	Cast Iron	INT.	Interior	SHT.	Sheet
COL.	Column		(315/15/7	SIM.	Similar
CPT.	Carpet	JT.	Joint	SQ.	Square
CL	Center Line	15000	A0772400	S.S.	Stainless Steel
CJ.	Control Joint	KIT.	Kitchen	STD.	Standard
CMU	Conc. Masonry	Seed See	AC2000000000000000000000000000000000000	STL.	Steel
	Unit	L.C.	Lightweight Conc.		
Conc.	Concrete	LAM	Laminated	THK.	Thick
Cont.	Continuous	LAV.	Lavatory	TEMP.	Tempered
CLOS.	Closet	LH	Left Hand	T.	Tread
C.O.	Clean Out	LIN.	Linen	T.O.	Top Of
C.W.	Cold Water	wasten.	5000 - 2000 E	T&G	Tongue and Gr
Csd.	Cased	MAT.	Materials	TYP.	Typical
C.T.	Ceramic Tile	Max.	Maximum		- JP-can
7.75		MIL.	Millimeter	UNO	Unless Noted
DBL.	Double	MIN.	Minimum		Otherwise
DH	Double Hung	MDF	Medium Density		- Contract
DEC.	Decorative	100.000	Fiberboard	V.B.	Vapor Barrier
DIA.	Diameter	MFR.	Manufacturer	VIF	Verify In Field
DIM.	Dimension	M.O.	Masonry Opening	V.C.T.	Vinyl Compos
DN	Down	MWK.	Millwork		Tile
DR	Door	MTL.	Metal		1110
D.S.	Downspout	MULL.	Mullion	W/	With
DTL.	Detail	200000000000000000000000000000000000000		WD.	Wood
DW	Drywall	(N)	New	WDW	Window
DWG	Drawing	NIC	Not In Contract	W.H.	Water Heater
		NTS	Not To Scale	W.I.	Wrought Iron
EA	Each			W.P.	Water Proof
ELECT	Electrical	oc	On Center	W.W.F.	Welded Wire
ELEV.	Elevation	O.H.	Overhang	Hornal's	Fabric
EQ.	Equal	OPCI	Owner Provided		I diotic
(E)	Existing	35.50	Contractor Installe		
EXIST.	Existing	OPNG.	Opening		
EXP.	Exposed	OPP.	Opposite		
med by a	and the same of th	300 A. A. A.	- blescone.		

EXT. Exterior

FIN. Finish

Fire Extinguisher

F.E.

OWNERSHIP AND USE OF DOCUMENTS

- These drawings, specifications and copies thereof, as instruments of service, are and shall remain the property of the Architect.
- The Owner shall be permitted to retain copies, including reproducible copies of the drawings and specifications, for information and reference in connection with Owner's use and occupancy of this project.
- The Owner may use these plans and specifications for third party use as reference only, for additions and alterations. No changes or additions may be made on the original drawings, specifications, or copies thereof.
- . These plans and specifications are to be used with respect to the named project and not necessarily reflect any field changes. They are not to be considered verified "As Built" drawings.
- · Third party users of these drawings and specifications shall verify all existing conditions before proceeding with any future work and be responsible for it.
- The use of these drawings by any Contractor, Subcontractor, builders, tradesmen, or worker shall instigate a hold harmless agreement between the drawing user and the
- The user shall in fact agree to hold the architect harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Architect harmless for costs and problems arising from the negligence of the Contractor, Subcontractor, tradesmen or workmen. The use of these drawings also implies that the Architect shall take no responsibility for the plan user's failure to carry out the work in accordance with the drawing or contract documents.
- I certify that these drawings were prepared by me or under my direct supervision and control and to the best of my knowledge and belief comply with the requirements of the applicable building codes.

2'-O" NIDE DRIVE

ROAD GRAVEL

8'-0' AUXILARY

WLOCAL ROCK RETAINING WALLS.

DRAINAGE CULVERY

OREGON ILLINOIS

AS REGID

GRAVEL

PARKING AREA, PEA

TAMPERED EARTH BERM

THOMAS J. GREENE DATE

LICENSE EXPIRATION DATE:

DRAINAGE-CULVERT

SCALE 1" = 40'-0"

AS REGID

- A.1 TITLE SHEET
- A.3 FLOOR PLAN
- A.5 EXTERIOR ELEVATIONS E&N
- A.7 SECTION/ELEVATIONS W&S A.8 SECTIONS/ELEVATIONS W&N
- INTERIOR ELEVATIONS
- INTERIOR DETAILS
- E.1 ELECTRICAL PLANS

DRAWING INDEX:

- A.2 FOUNDATION PLAN
- A.4 EXTERIOR ELEVATIONS W&S
- A.6 SECTION/ELEVATIONS E&N
- I.1 INTERIOR ELEVATIONS
- INTERIOR ELEVATIONS
- 1.5 INTERIOR / EXTERIOR DETAILS

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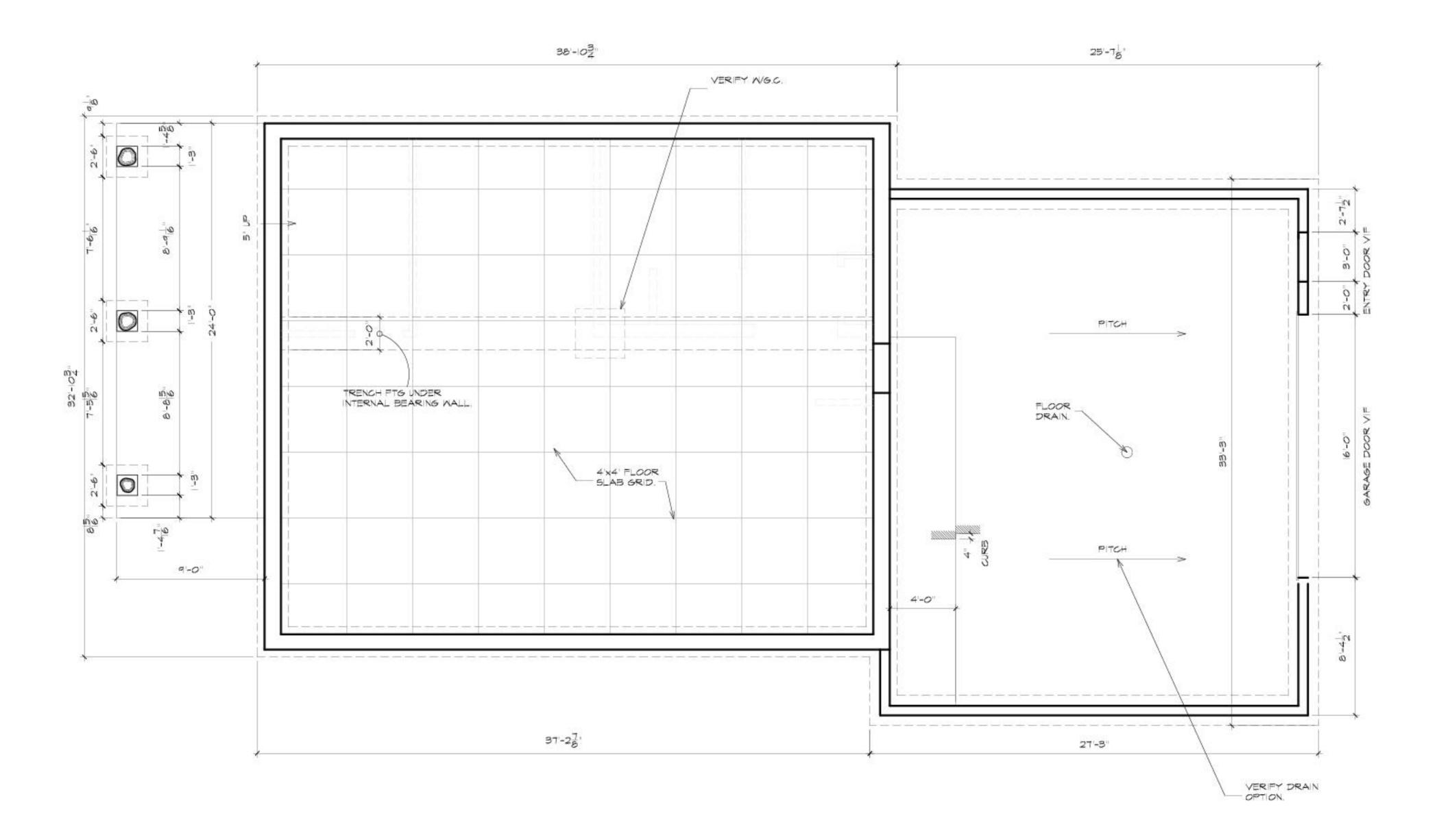
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Drawn By: DJF

Coversheet, Site Plan, Notes

Sheet No:









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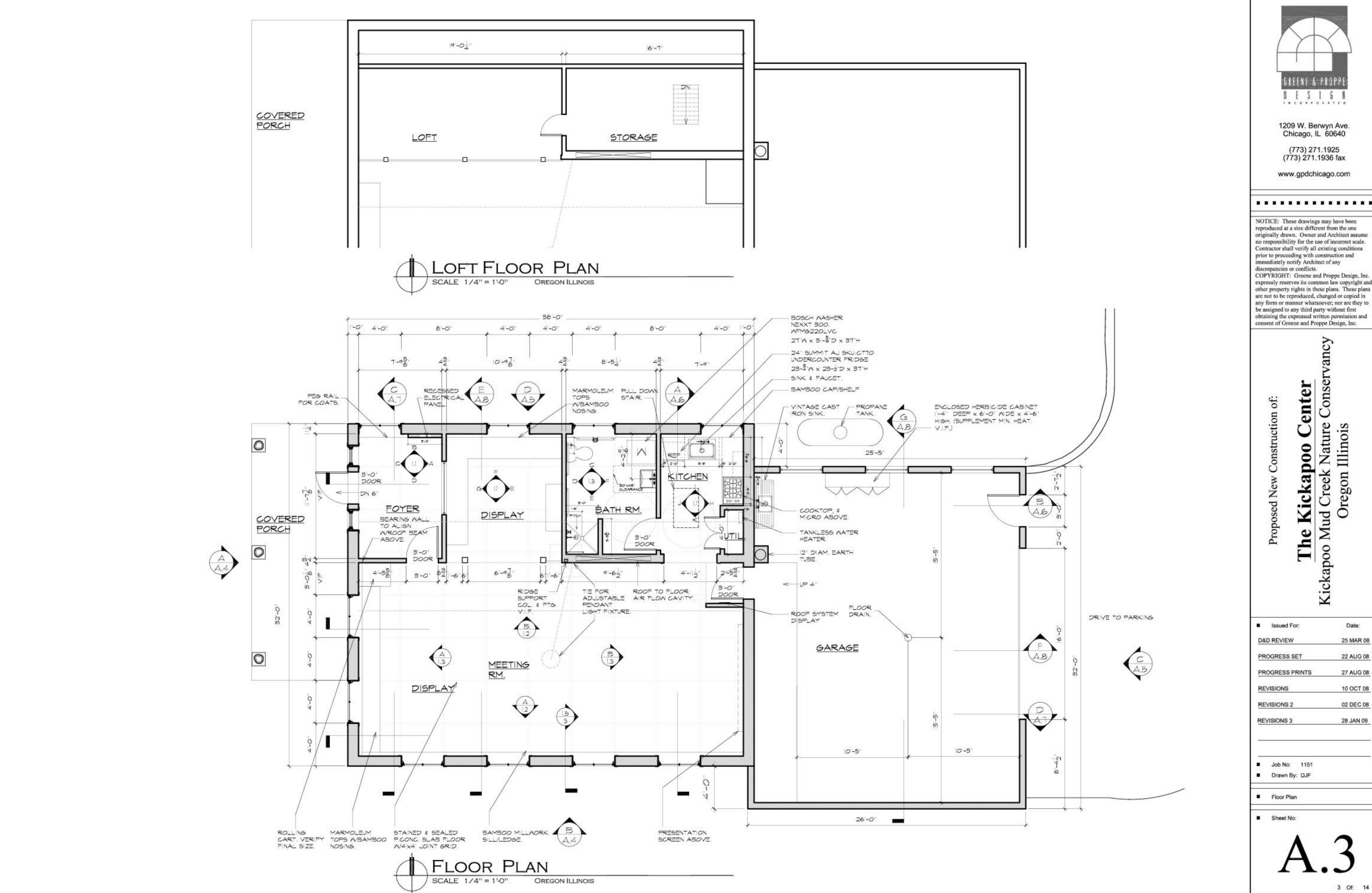
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Foundation Plan

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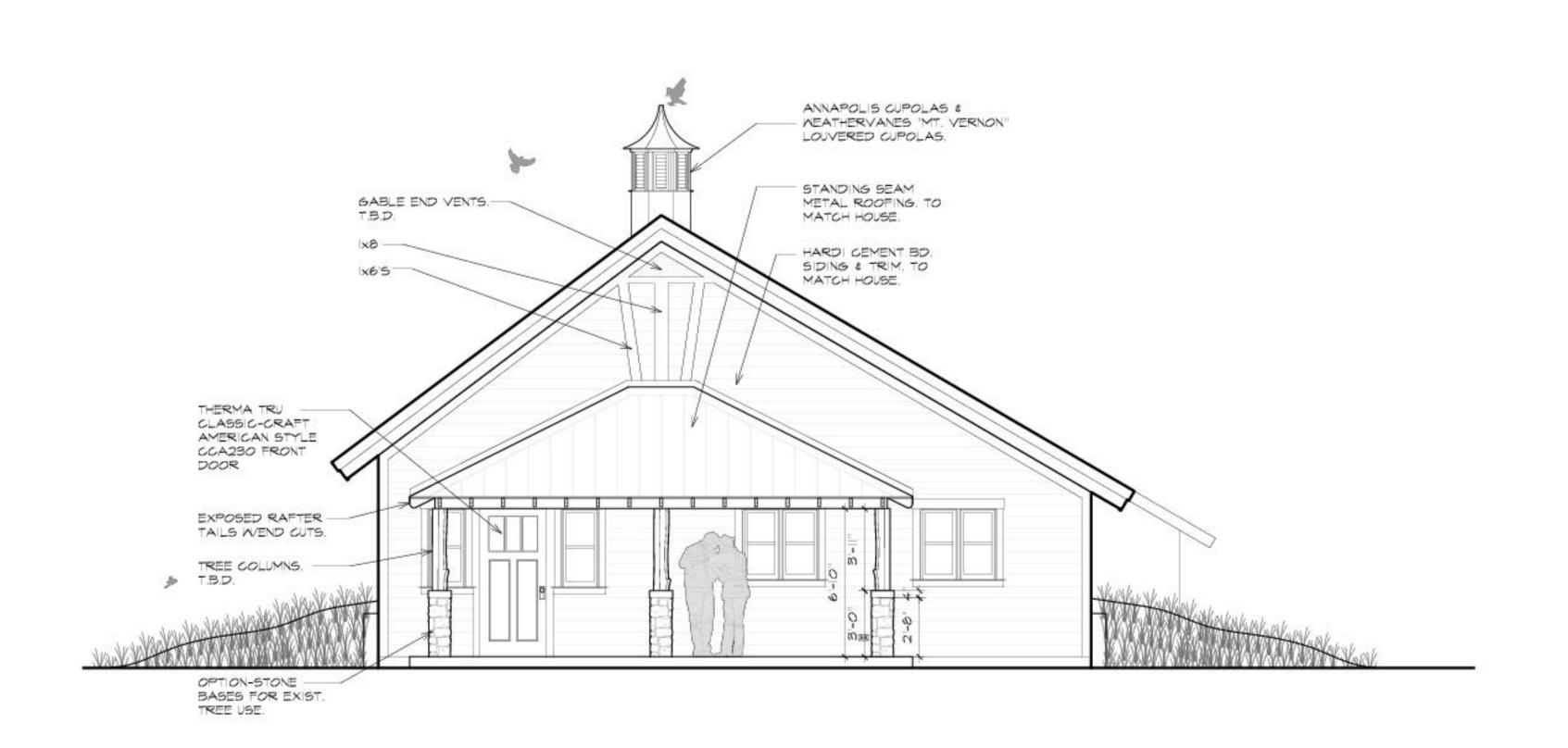
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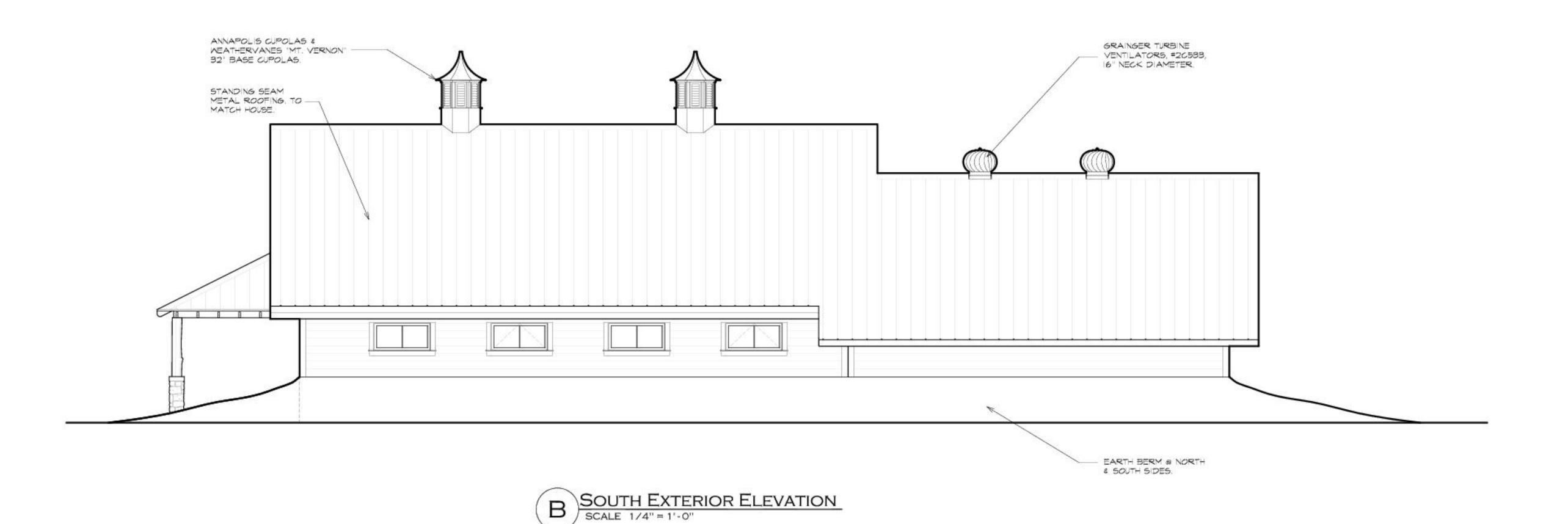
> Nature Illinois Creek Kickapoo Mud

Date: 25 MAR 08 22 AUG 08 PROGRESS PRINTS 27 AUG 08 10 OCT 08 02 DEC 08 28 JAN 09



A WEST EXTERIOR ELEVATION

SCALE 1/4" = 1'-0"



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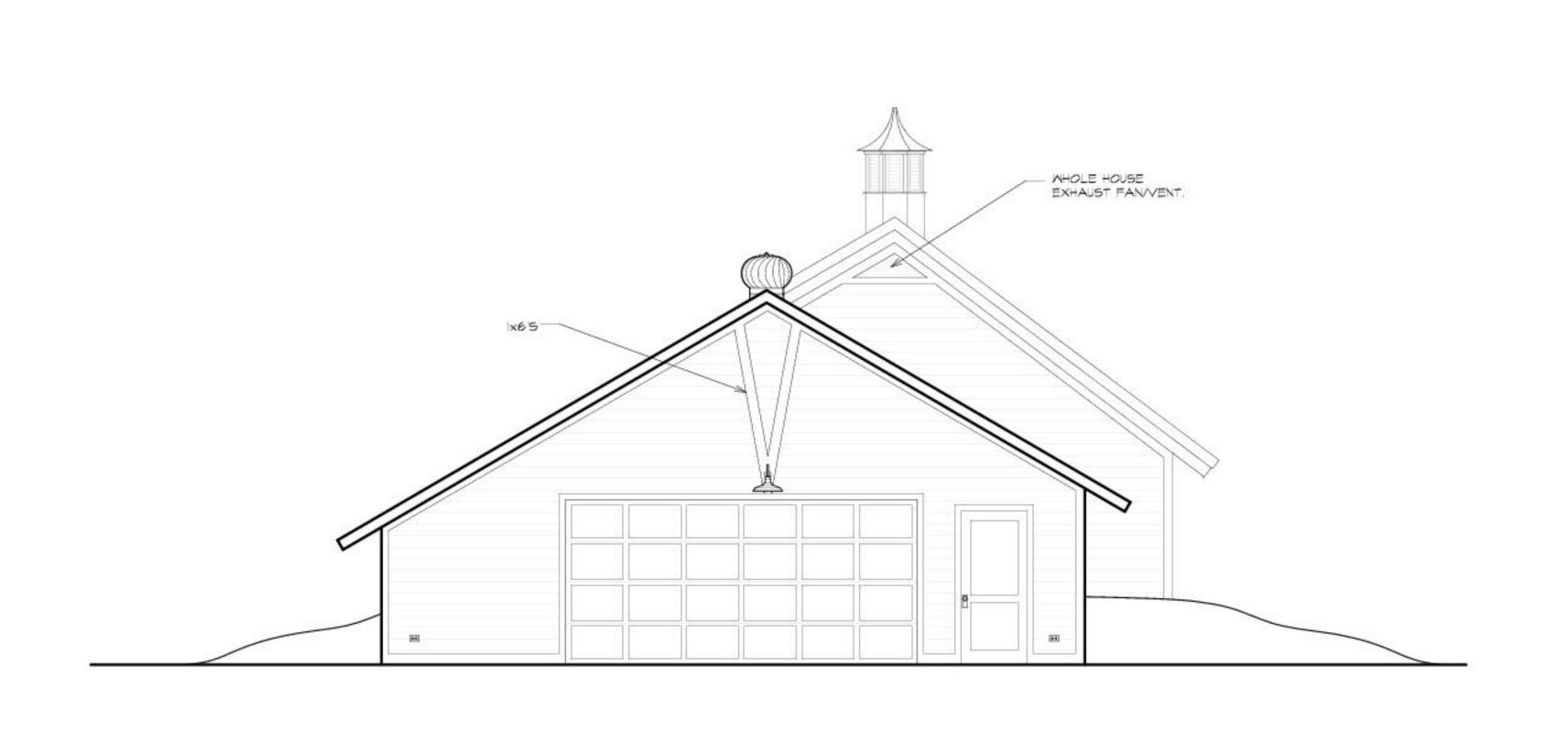
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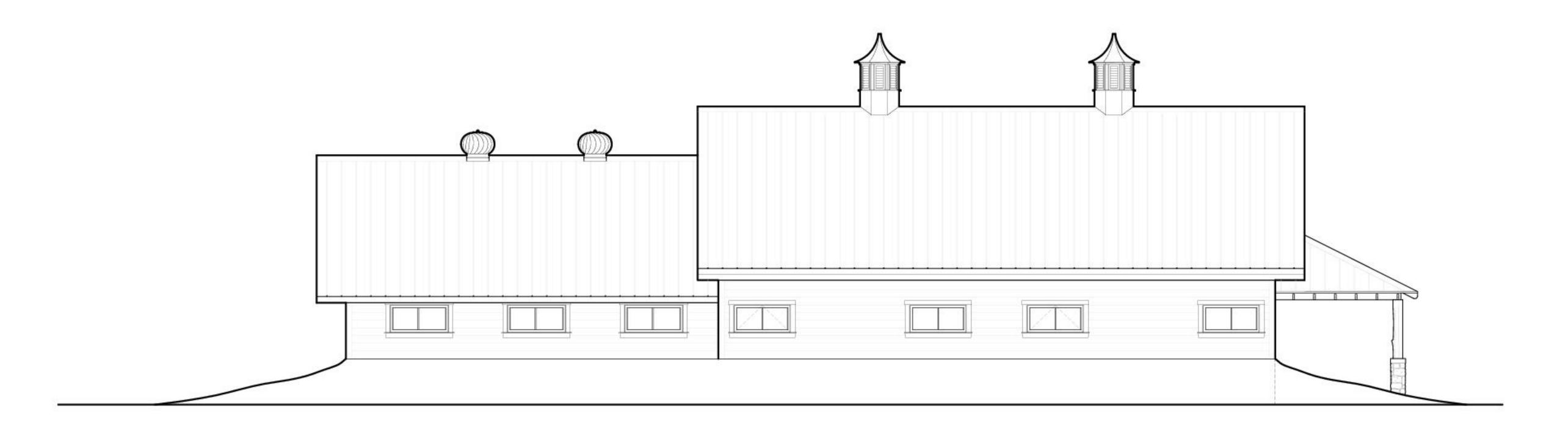
- Job No: 1151
 Drawn By: DJF
- West & South Exterior Elevations
- Sheet No:

A.4

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C EAST EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



D NORTH EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



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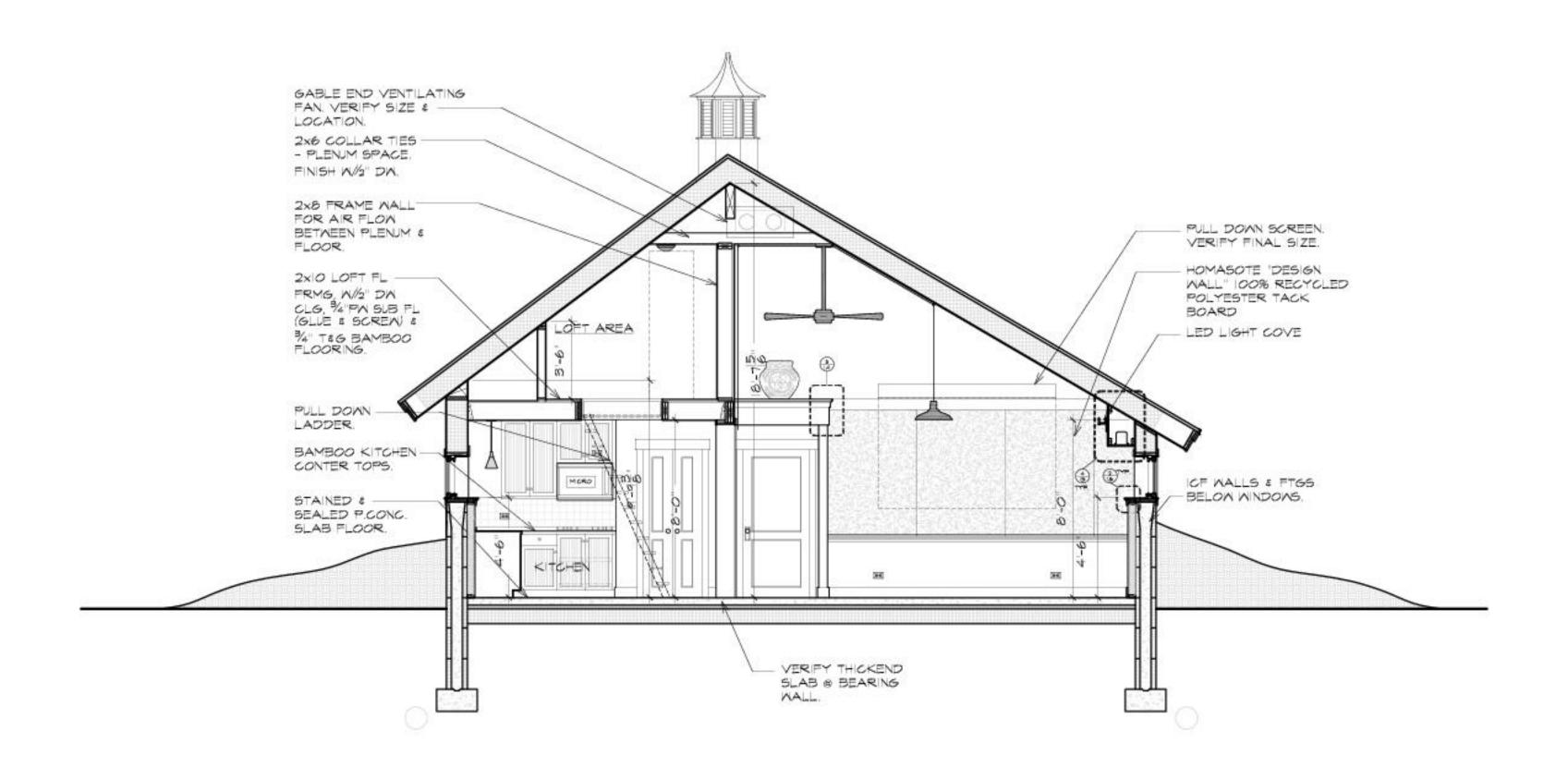
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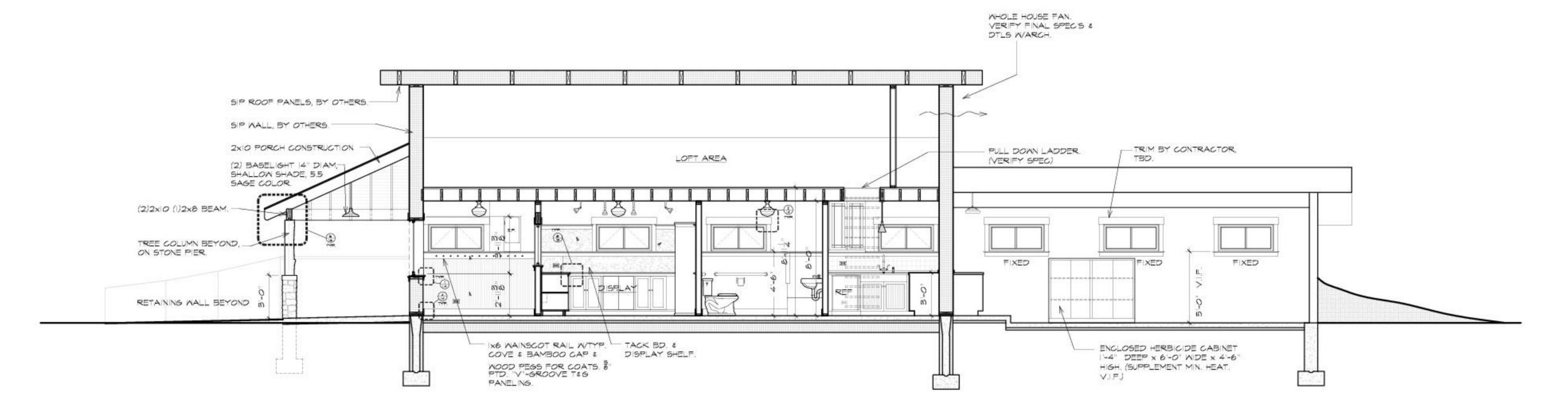
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East & North Exterior Elevations

Sheet No:



A SECTION ELEVATION LOOKING EAST SCALE 1/4" = 1'-0"



B SECTION ELEVATION LOOKING NORTH



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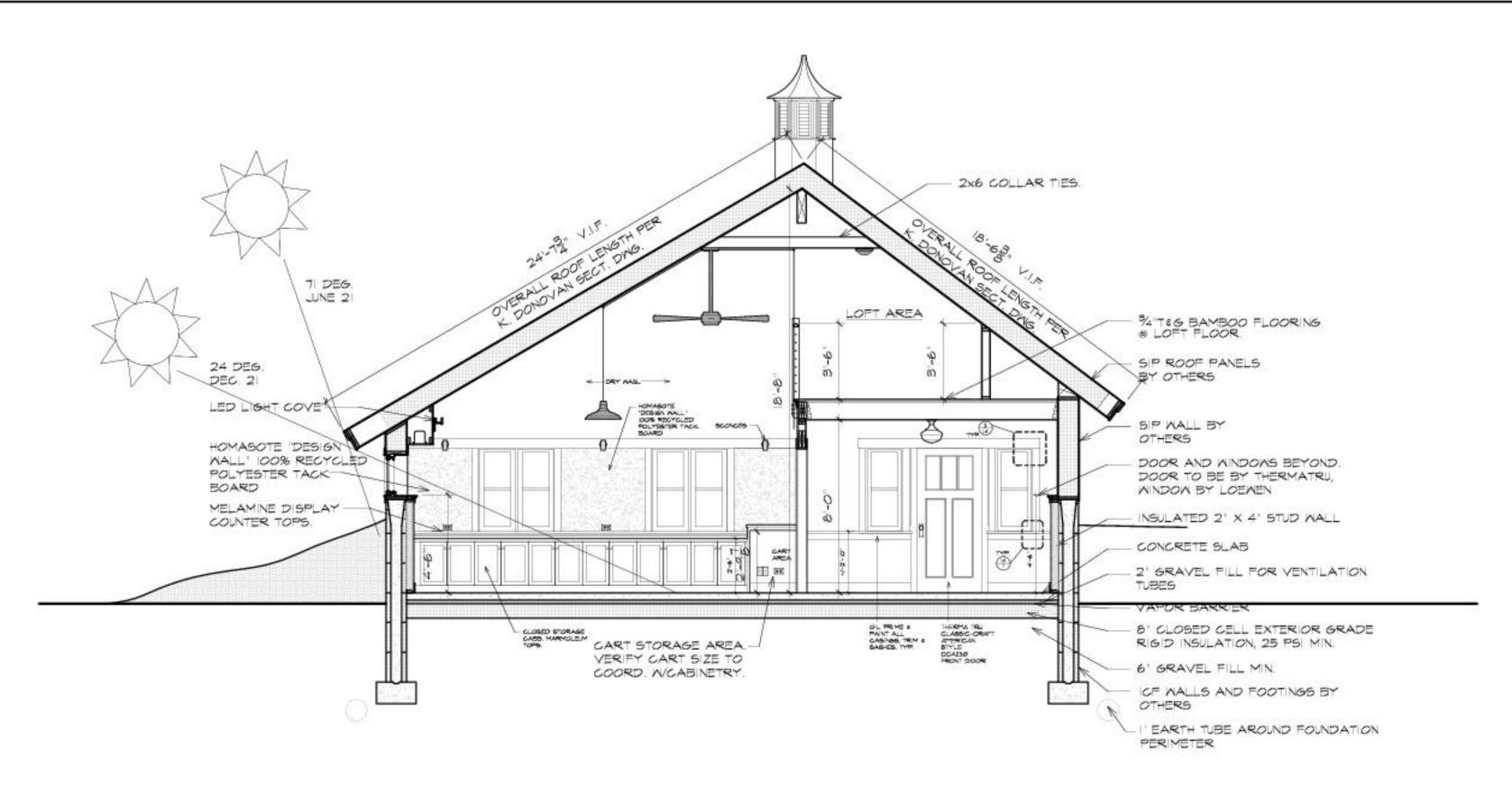
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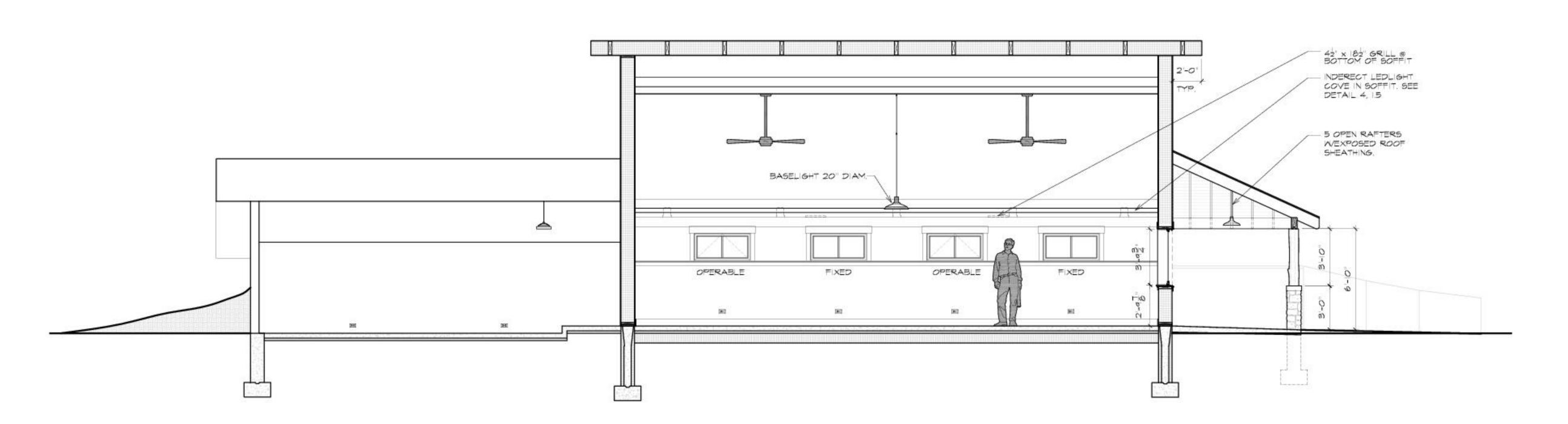
Section Elevations

■ Sheet No:

A.6



SECTION ELEVATION LOOKING WEST SCALE 1/4" = 1'-0"



SECTION ELEVATION LOOKING SOUTH SCALE 1/4" = 1'-0"



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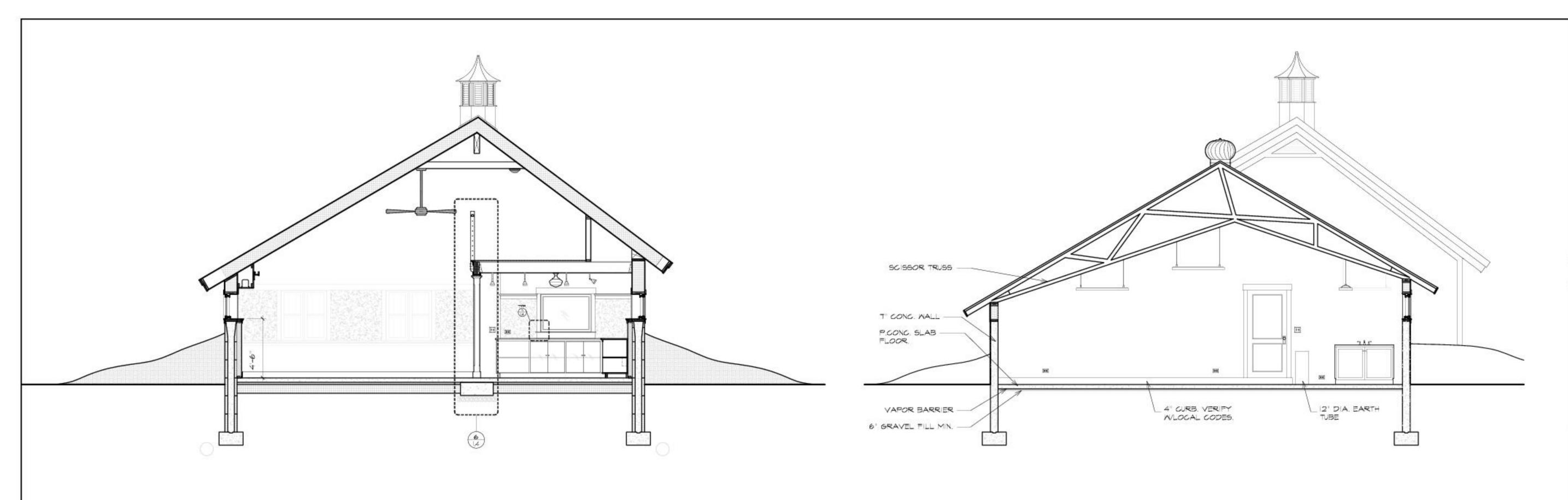
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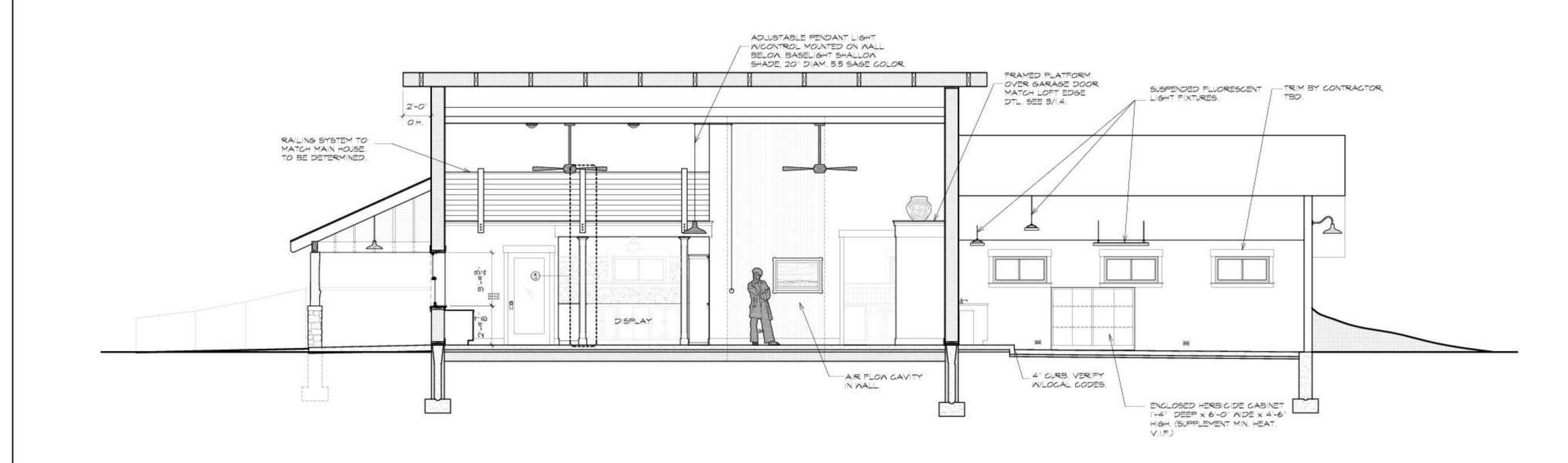
Section Elevations

Sheet No:



E SECTION ELEVATION LOOKING WEST

G SECTION GARAGE LOOKING WEST



F SECTION ELEVATION LOOKING NORTH



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■ Section Elevations

■ Sheet No:

A.8

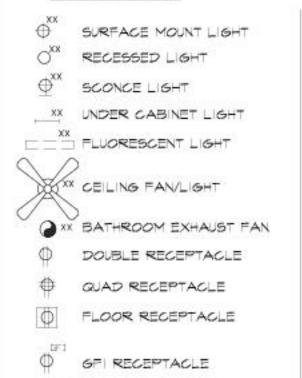
ELECTRICAL FIXTURE SCHEDULE

- · O.P.C.I.: Owner purchased, contractor installed.
- · Contractor to supply and install all fixtures not marked O.P.C.I.
- Contractor to see electrical plan and ½" elevations for locations of fixtures, outlets and switches.
 Contractor to supply all outlets & switches for all locations, & ensure proper function.
- Contractor to notify architect of location conflicts prior to installing boxes.
 Contractor to supply and install appropriate light bulbs in all fixtures.
 Typical switches to be Lutron, or approved equal.
- Typical dimmers to be Lutron Ariadne.
- All switches & outlets to be ivory.
- All cover plates to be ivory plastic, U.N.O.
- All can light ceiling trim rings to be painted to match ceilings.
 All bedroom outlets to be arc fault interupters.

· All kitchen & bath outlets above counters to be ground fault interupters.

NO.	QTY.	MANUFACT.	TYPE	MODEL	FINISH/TRIM	LAMP	LOCATION/ REMARKS	TOTAL WATTS	TYP. WATTS
LX-1	1	Baselite	Exterior Overhead	S316 - 16"	Moss	CFL	Exterior Garage Ordered - GPD	18 Watts	75 Watts
LX-2	2	Baselite	Exterior Ceiling Pendant	S314 - 14*	Moss	CFL	Front Porch Ordered - GPD	36 Watts	150 Watts
LCF-1	2	Hunter	Ceiling Fan	54" Paramount Xp	Weathered Bronze Finish, 12" Schoolhouse Globe Light	CFL	Meeting Room Ordered - Owner	38 Watts	150 Watts
LCM-1	4	Kichler	Ceiling Mounted	#8880 TZ 10" Diameter Flush Mount	Tannery Bronze	CFL	Loft Area / Storage Ordered - GPD	52 Watts	240 Watts
LCM-2	2	Rejuvenation	Ceiling Mounted	Thurman	Oil Rubbed Bronze / Tan BD7470 Shade	CFL	Display / Foyer Ordered - GPD	26 Watts	120 Watts
LCM-3	1	Rejuvenation	Ceiling Mounted	Thurman	Polished Nickel / Tan BD7470 Shade	CFL	Bath Room Ordered - GPD	13 Watts	60 Watts
LCM-4	1	Porcelain Socket	Ceiling Mounted			CFL	Utility Room	13 Watts	60 Watts
LF-1	4	GE	1x4 Suspended Fluorescent	25 Watt 48" 3,500k F32T/25WSPX35EC		(2) T-8	Garage, Integral Electronic Ballast	200 Watts	256 Watts
LF-2	34	MaxLite	LED Strip	27K 12" Strip Light	N.A.	LED	Meeting Room - Gang Together	112.2 Watts	272 Watts
LP-1	1	Baselite	Ceiling Pendant	J124 - 30" Adjust, Cord	Brushed Alum. / Glass	CFL	Meeting Room Ordered - GPD	18 Watts	75 Watts
LP-2	1	Rejuvenation	Ceiling Pendant	26" Brightwood	Polished Nickel / Green BA3924 Shade	CFL	Kitchen Sink Ordered - GPD	13 Watts	60 Watts
LR-1	5	Cree LLS	Recessed Can LED	H4 Housing ,LR4E-15 Light Engine, LT4-15A Reflector		LED	Display / Meeting Room	52.5 Watts	325 Watts
LR-2	1	Cree LLS	Recessed Can LED	H4 Housing ,LR4E-15 Light Engine, LT4-15A Reflector		LED	Shower - Ordered GPD	10.5 Watts	65 Watts
LR-3	2	Halo	6" Recessed Can LED	Housing , H750ICAT Light Engine,ML706830	494SC06 Specular Trim	LED	Kitchen - Electronic Low Voltage (ELV) Dimmer	29.6 Watts	150 Watts
LS-1	3	SPJ Lighting Inc.	Wall Sconce Down Light	SPJ-701-SS	Oil Rubbed Bronze W/ 5" Canopy 80 Degree Spread	LED	Display Wall Ordered - GPD	18 Watts	300 Watts
LS-2	2	Rejuvenation	Wall Sconce Wet Location	St. Helens	Polished Nickel / Red BA3924 Shade	CFL	Bath Room Ordered - GPD	26 Watts	120 Watts
LT-1	1	Edge	Monorail Track	LED MR16 W/ 150 Watt Remote Transformer, S7-BZ Shade	Antique Bronze Finish, S7-BZ Shade (Antique Bronze, 10 Total).	LED	Display Room - Ordered GPD	80 Watts	500 Watts
LUC-1	2	Maxlite	Under Cabinet Lighting	27K 12" LED Strip	N.A.	LED	Kitchen - Gang Together	6.6 Watts	16 Watts

SYMBOLS



D EXTERIOR OF RECEPTACLE

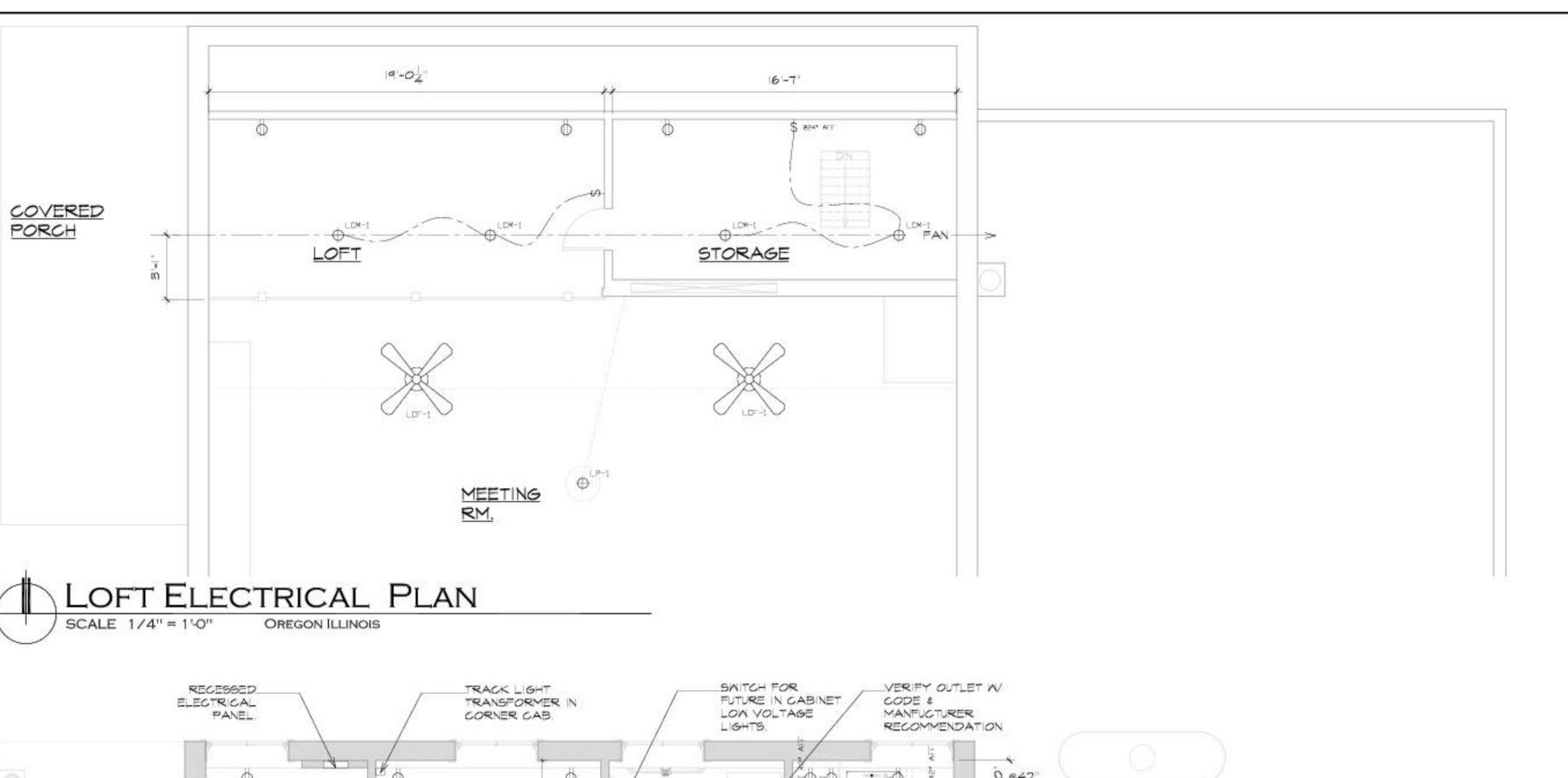
APPLIANCE RECEPTACLE

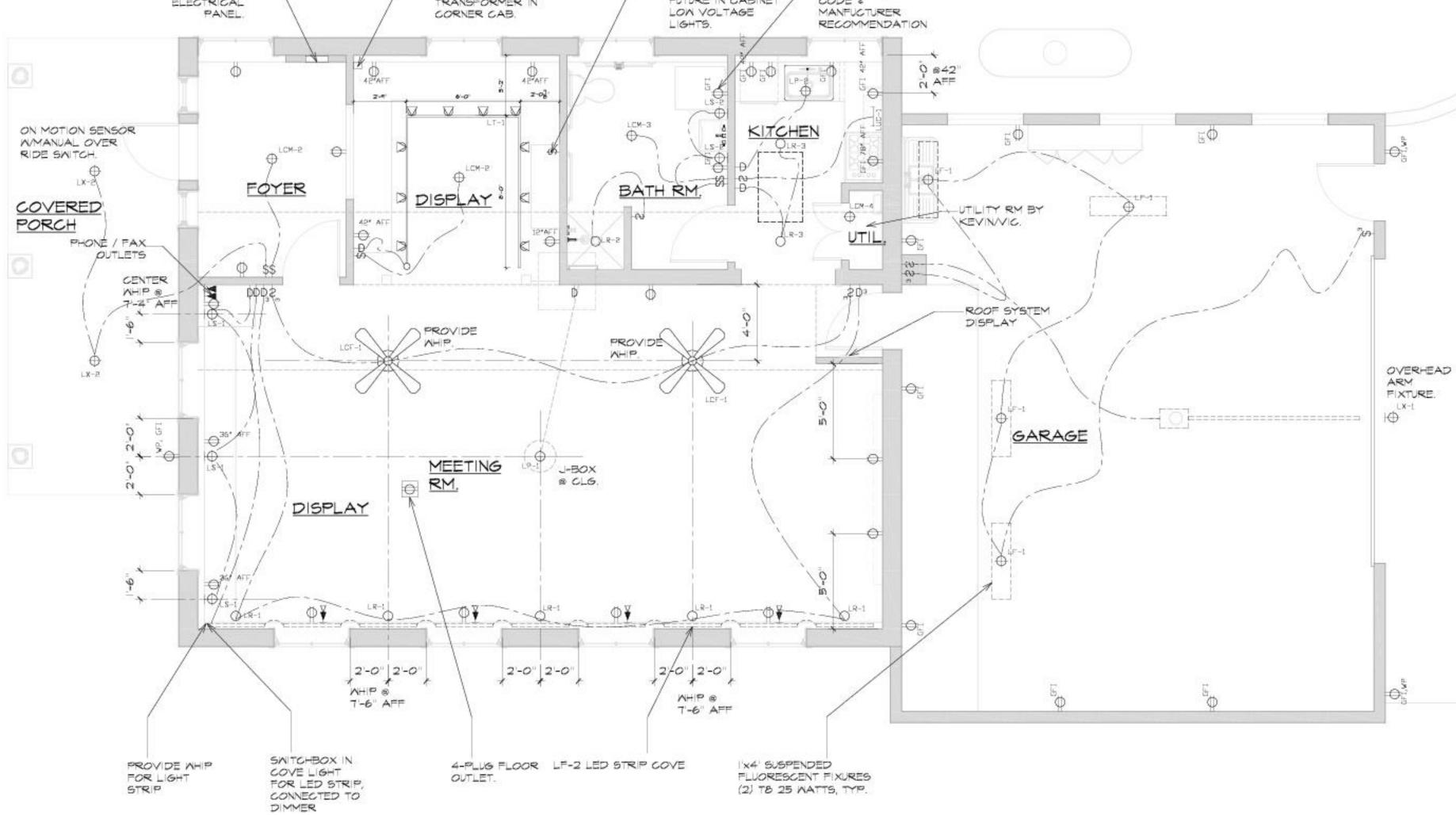
- \$ SINGLE SWITCH
- 3-MAY SMITCH
- DIMMER SWITCH
- FAN CONTROL SWITCH

TOTAL

762.4 Watts 2,993 Watts

- JAMB SWITCH
- CABLE TV OUTLET
- TELEPHONE JACK
- CATSE DATA JACK
- THERMOSTAT PLAN
- THERMOSTAT ELEVATION SMOKE DETECTOR
- C GO DETECTOR
- DB DOOR BELL
- S SPEAKER
- SPEAKER HOMERUN









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> Conser Center Nature reek

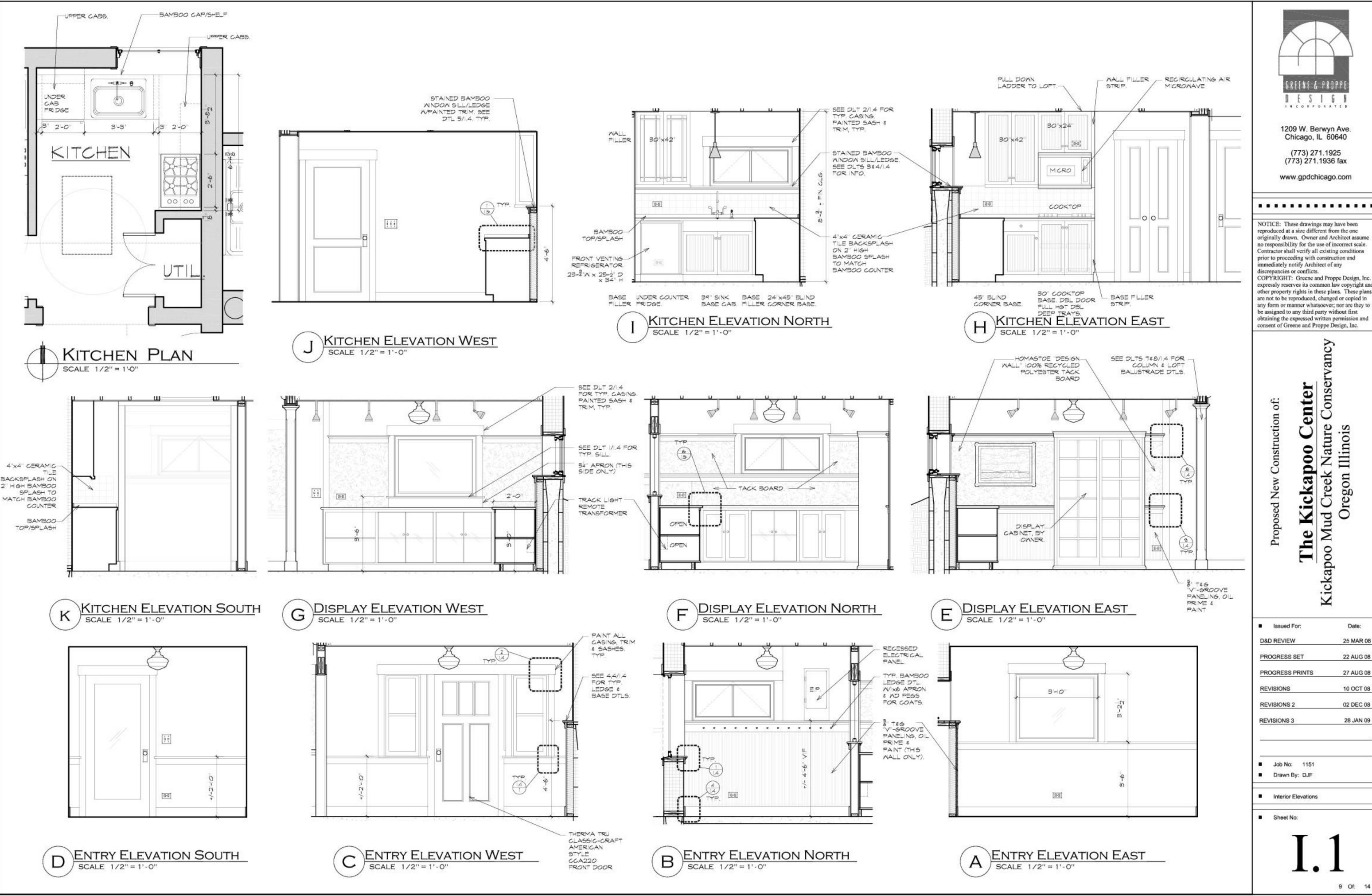
P Kickapoo Mud

Issued For:	Date:			
D&D REVIEW	25 MAR 08			
PROGRESS SET	22 AUG 08			
PROGRESS PRINTS	27 AUG 08			
ELECTRICAL DIMS	15 SEP 08			
REVISIONS	10 OCT 08			
REVISIONS 2	02 DEC 08			
REVISIONS 3	28 JAN 09			

 Job No: 1151 Drawn By: DJF

Floor Plan

■ Sheet No:



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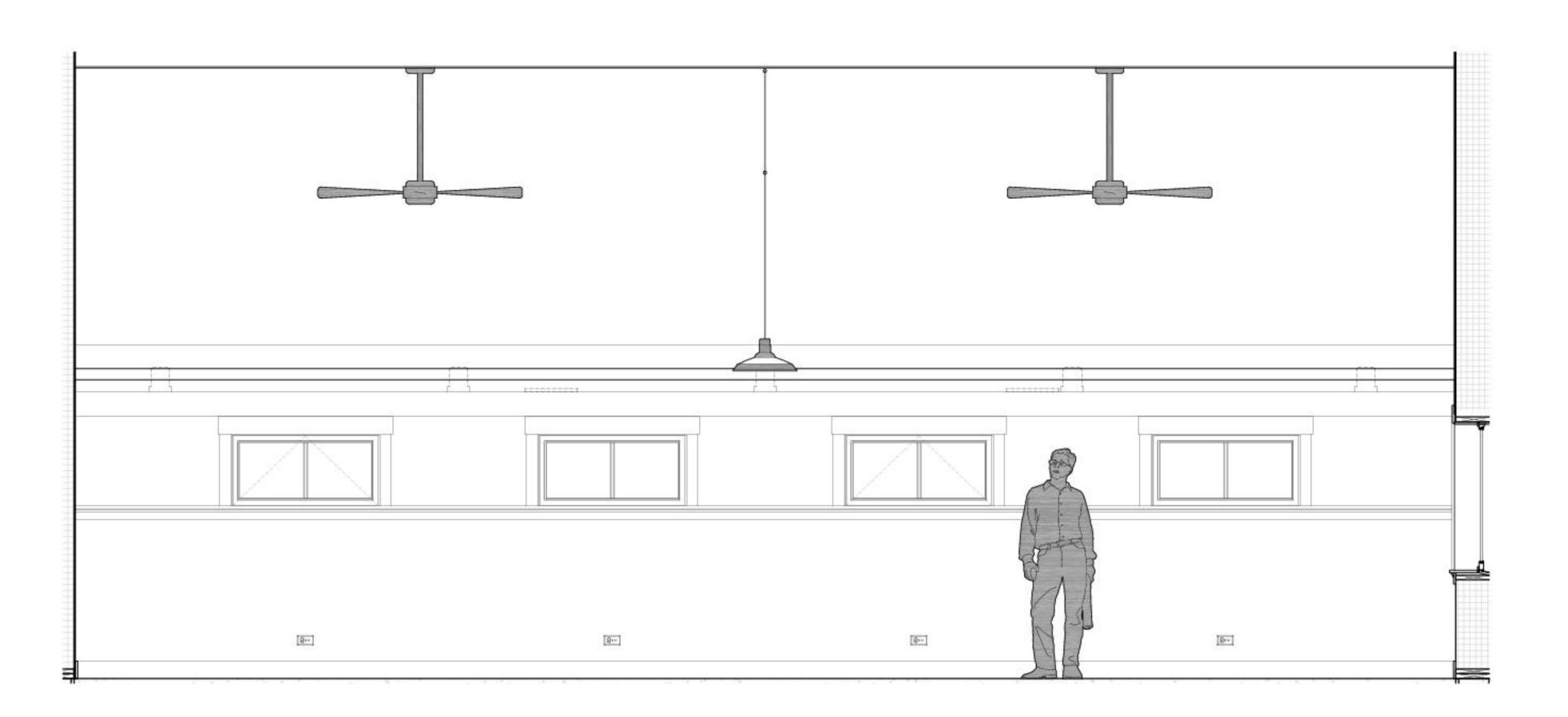
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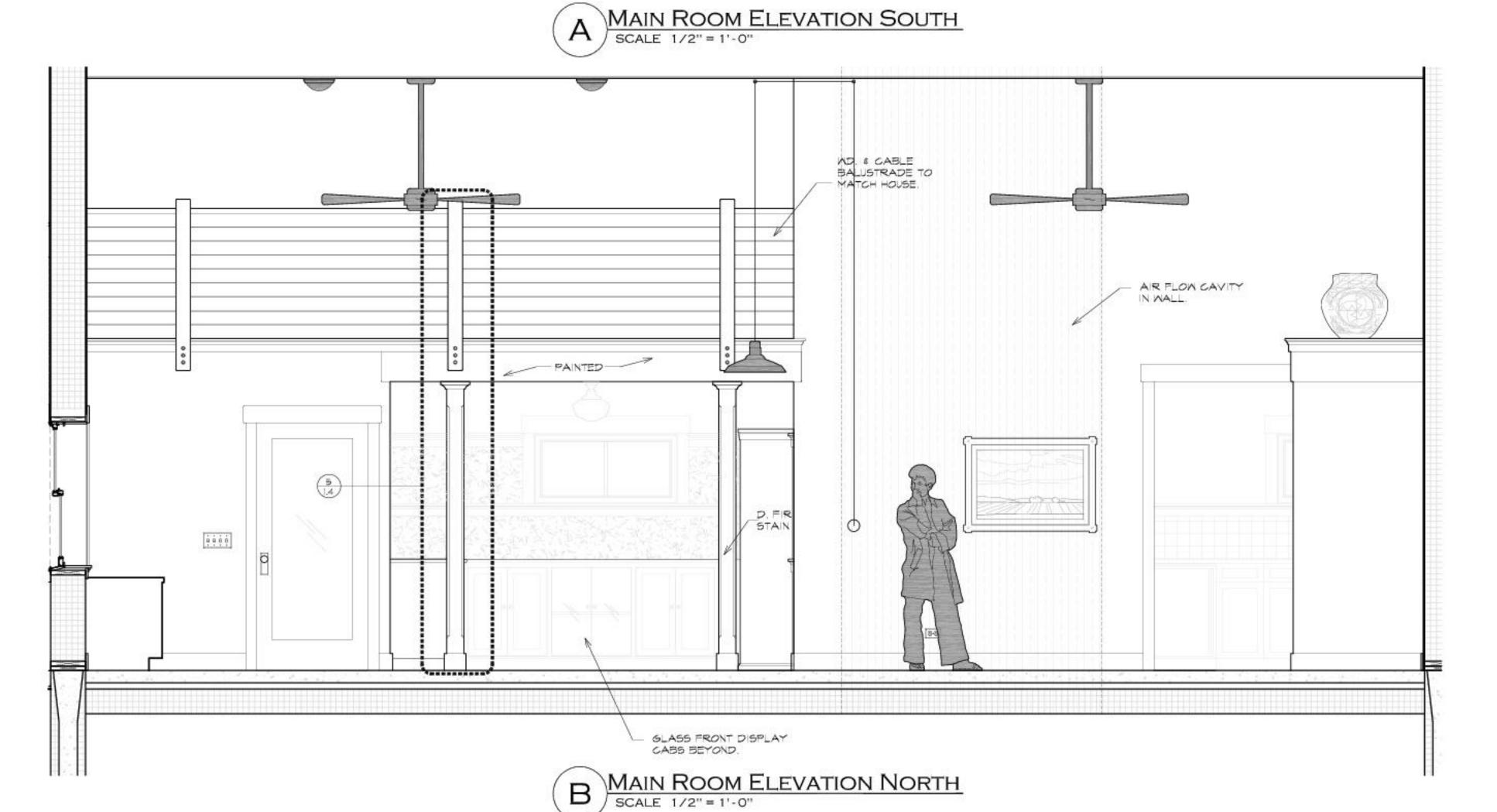
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Job No: 1151

Interior Elevations

Sheet No:







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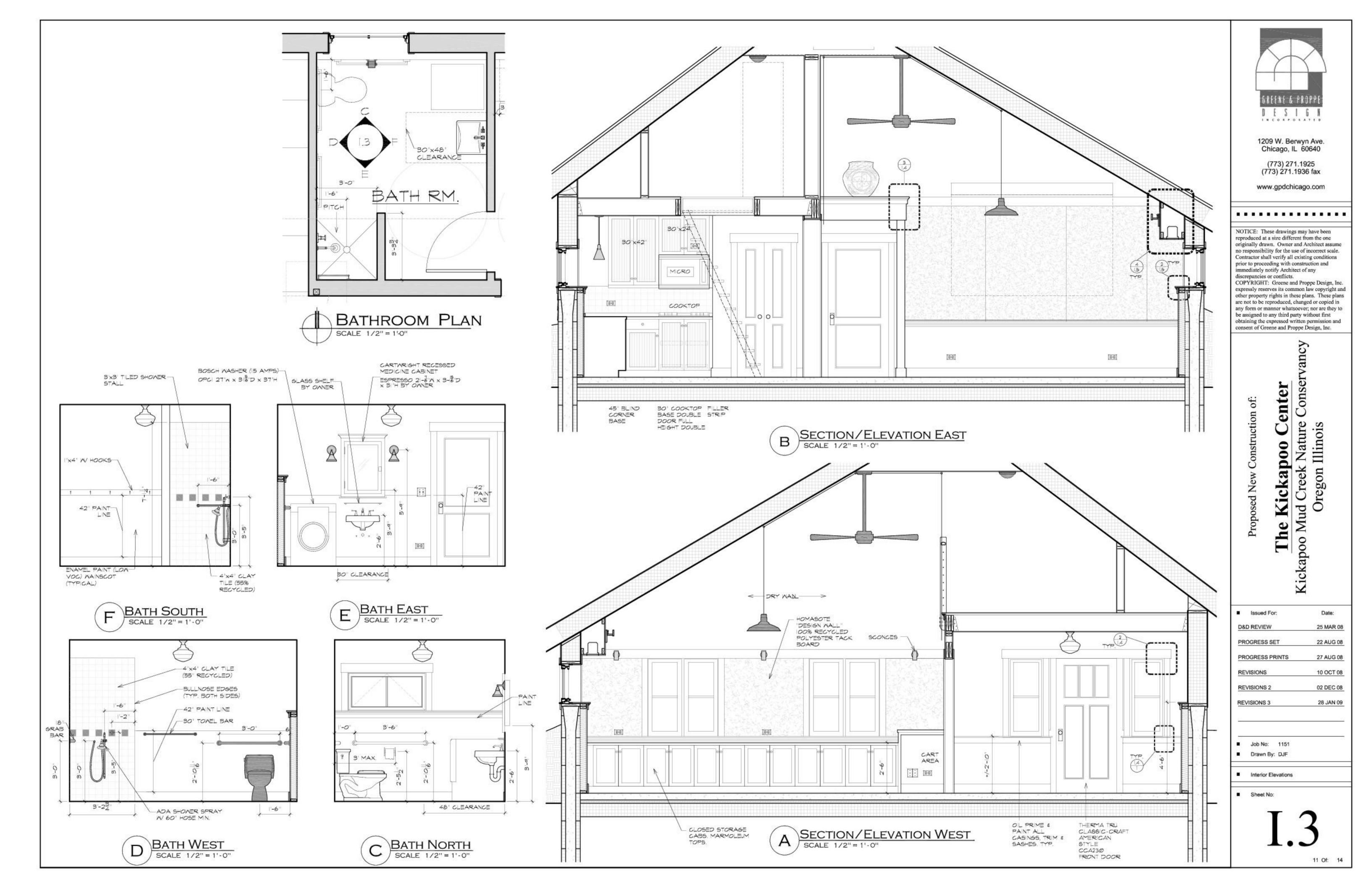
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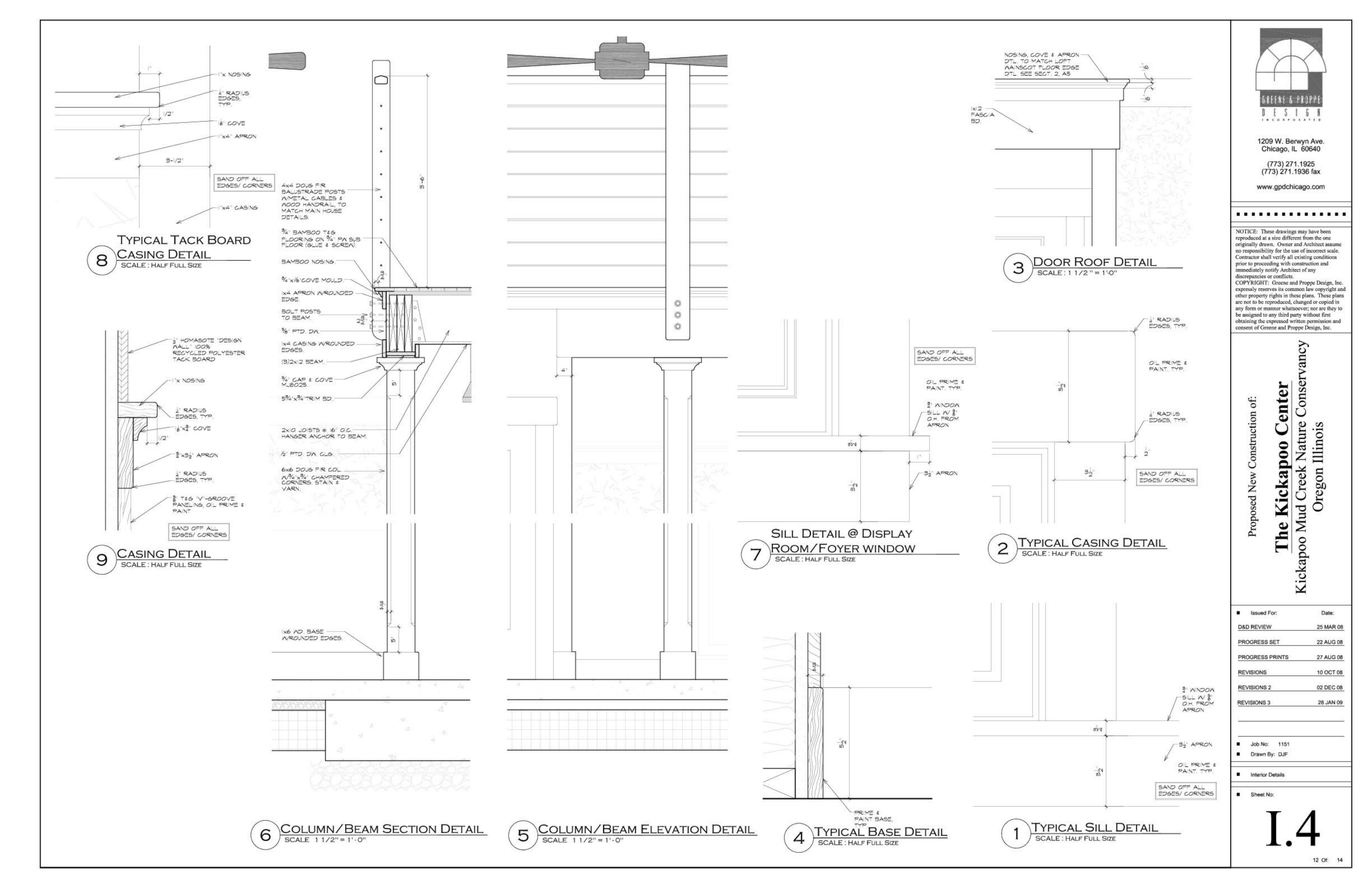
Kickapoo Center ud Creek Nature Conserv Oregon Illinois The Ki

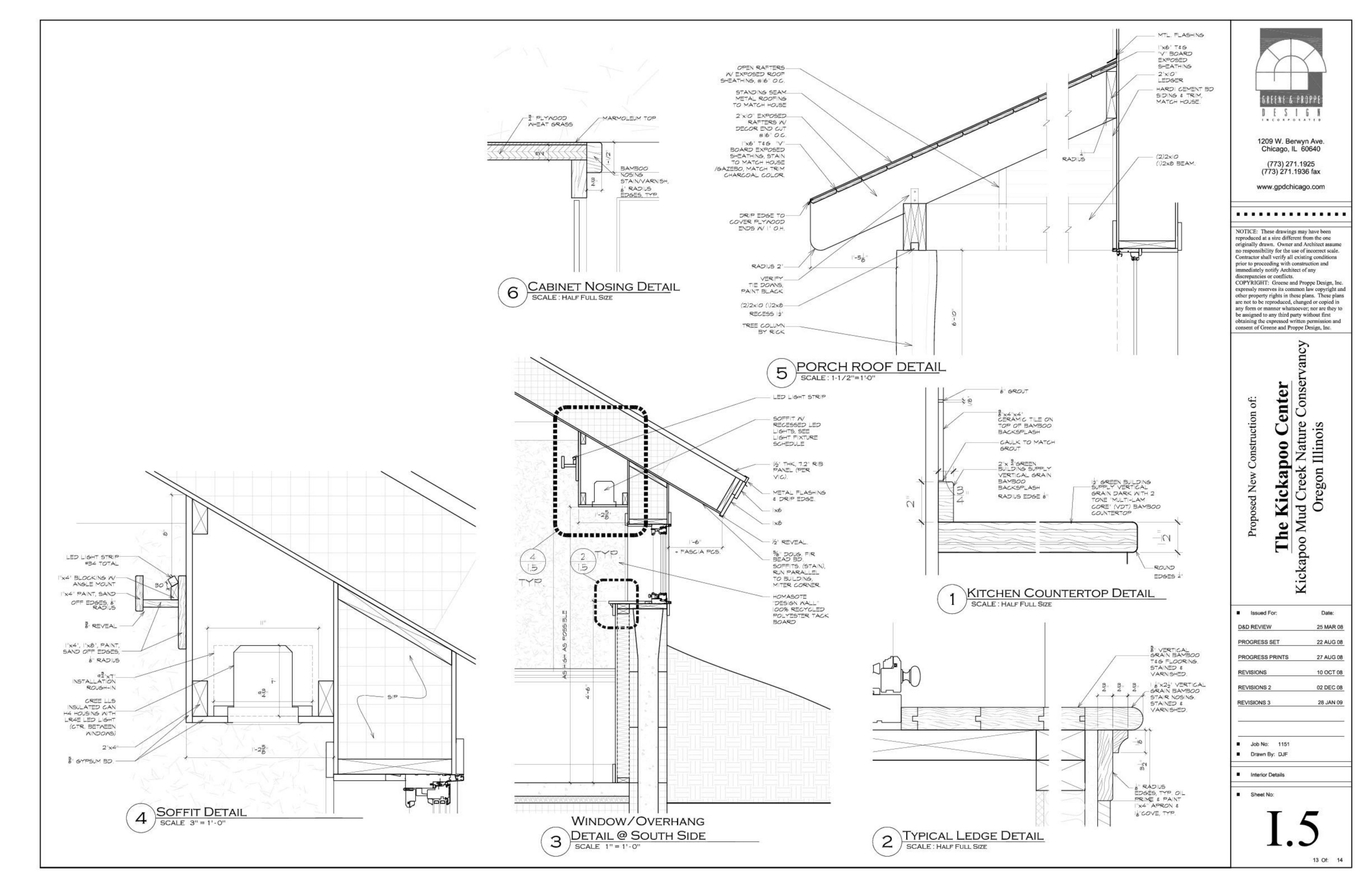
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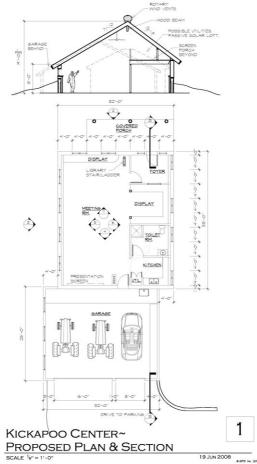
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- Job No: 1151 Drawn By: DJF
- Interior Elevations
- Sheet No:



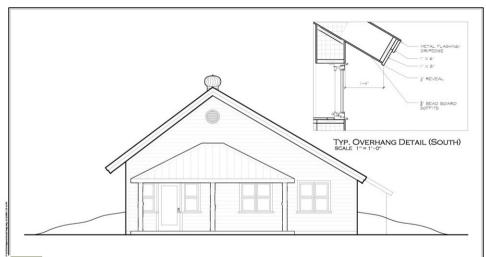






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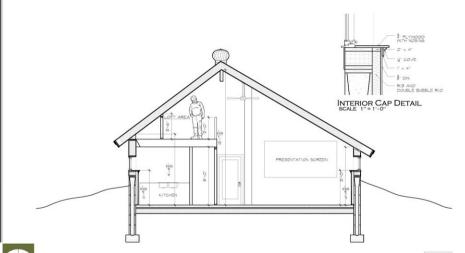




KICKAPOO CENTER ~ PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"
19 JUNE 2008

2008

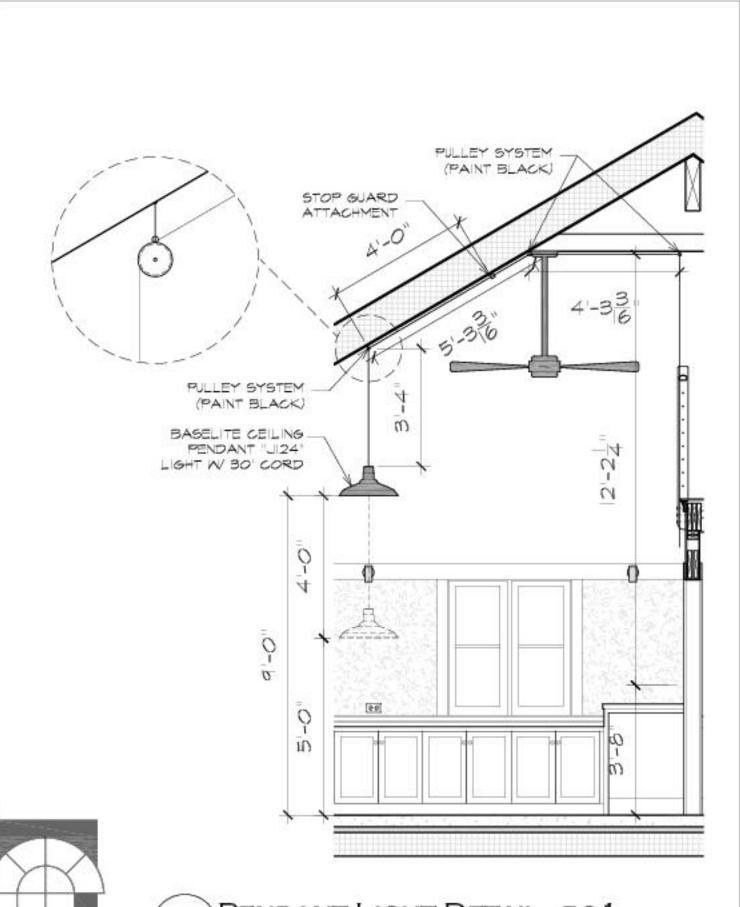
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KICKAPOO CENTER ~ EAST INTERIOR ELEVATION/SECTION SCALE 1/4" = 1'-0"

19 JUNE 2008

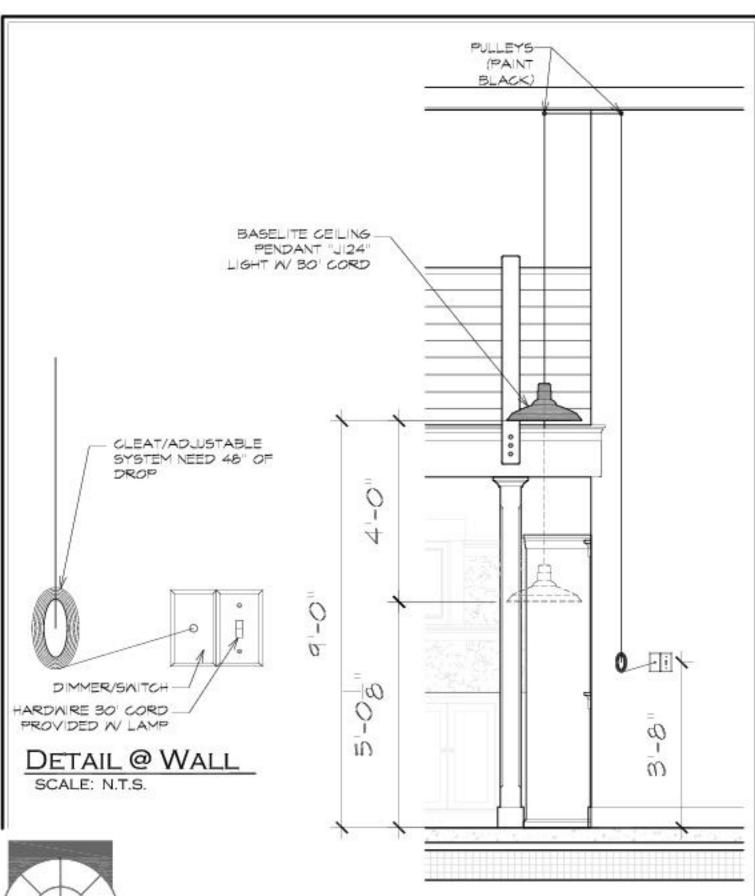




PENDANT LIGHT DETAIL PG1

SCALE: N.T.S.

27 FABRUARY 2009





2 PENDANT LIGHT DETAIL PG2
SCALE: N.T.S. 27 FABRUARY 2009

